

**Board of Architectural Review**

DATE: July 17, 2015  
TO: Board of Architectural Review Chair and Members  
THROUGH: Jason Sutphin, Community Development Division Chief *JDS*  
FROM: Kelly O'Brien, AICP, BAR Liaison *KO*  
SUBJECT: **Advance Auto Parts– 9738 Fairfax Boulevard**

**ATTACHMENTS:** 1. Relevant Code Sections  
2. Plans  
3. Site Photos  
4. Landscape Plan Mark-up

**Nature of Request**

- |                                |   |
|--------------------------------|---|
| 1. Case Number:                | 15070060  |
| 2. Address:                    | 9738 Fairfax Boulevard  |
| 3. Request:                    | Renovation of one-story restaurant into retail store                        |
| 4. Applicant:                  | Advance Auto Parts  |
| 5. Applicant's Representative: | Chris Houk of L2M, Inc.   |
| 6. Zoning:                     | I-2 Industrial, C-2 Retail Commercial, Highway Corridor<br>Overlay District |

**Staff Comments**

**Background and Proposal:**

The subject property contains 1.11 acres of land located at the intersection of Draper Drive and Fairfax Boulevard. The one-story building was constructed in 1973 as Celine's Steakhouse. Sizzler Restaurant purchased the site and came before the Board in 1986 for remodeling and site improvements. The Board approved further modifications to the building and site for Lone Star Steakhouse in 1997. The site came before the Board again in 2007 to renovate the building and reduce the western style for the American-fare restaurant Fire & Ice. The latest tenant prior to the applicant was Teeno Zytoon, a Mediterranean restaurant that offered Hookah.

The applicant is proposing to renovate the existing one-story restaurant building into an auto parts retail store. The building as it exists today is 6,140 square feet. The applicant is not proposing to change the building footprint or increase the overall height of the building.

Any signage shown is for illustrative purposes only for this review.

**Analysis:**

Proposed Architecture and Materials

The building is being remodeled as a single-story retail building. The existing roof will be demolished including a canopy overhang and four support columns at the side entrance from the parking lot to the east of the building. The applicant proposes to raise the parapet walls on three sides to match the height of the rear portion of the building. The current building façade is stucco and the applicant is proposing to use EIFS for the remodeled portions of the building.

A new storefront entrance with mill finish aluminum frames and clear glass is proposed to replace the arches and columns on the existing front façade. The windows on either side of the entrance will remain, however, they interior of the glass is proposed to have black film applied to screen the shelving system of the store displays against the windows. Red fabric awnings are proposed over the existing windows per staff's request.

The front two-thirds of the building are proposed to be painted 'Quest Gray' on the bottom with a raised band of 'Positive Red' separating the bottom portion of the building with the upper sign band area painted 'Anew Gray'. A 'Pacer White' cornice feature with 'Show Stopper' red metal coping is proposed for the top of the parapet wall. The cornice ends with the lower raised red band at the back third of the building, however, the red metal coping continues around the top of all walls of the building.

On the east elevation of the building facing the parking lot, the double door storefront will be removed and infilled with EIFS. A window similar to the window that exists to the right of this area will be installed in place of the doors. All windows are proposed with black glazing on the interior.

On the west elevation facing Draper Drive, the existing windows will remain. The existing storefront with a wood door with glass panel was originally proposed to be removed and infilled, however, staff requested that it remain. The applicant proposes to paint the frames of the window black to match the others and paint the door 'Quest Grey' to match the walls, seal the door shut and remove the hardware as it will not be used as an egress. Staff's recommendation was to replace the wood door with a black metal frame with glass panel door to match the window frames. The applicant stated the condition of the existing storefront would make it very difficult and costly to fit a new door.

The rear third of the building will remain as solid walls painted 'Anew Grey'. The existing rear doors including the roll-up door are proposed to be painted 'Anew Grey' to match the walls. The bollards near the rear of the building are proposed to be painted 'Quest Grey'.

*While it is a moderate improvement to existing conditions, staff would like to have seen better quality materials and design elements as was used on adjacent properties and is recommended in the Community Appearance Plan, which places a preference on quality materials and a design that works with surrounding architecture. In general, staff is in support of the proposed design as an improvement to existing conditions and appreciates the applicant's willingness to compromise on some design elements requested by staff.*

Proposed Site Changes

The applicant is proposing minor updates to the site including the removal of the existing hand rail in front of the entrance adjacent to the handicapped parking and any existing ground lights. New concrete will be poured in a small area to the rear of the building and to redo the front entry sidewalk. No changes are proposed to the parking lot other than to patch, repair and restripe.

### Landscaping

Staff requested the following landscape modifications to the site:

- Remove the invasive species located against the front of the building.
- Add 30 inch high hedgerows adjacent to parking areas to be screened from right of way as required by City Code and noted on the approved landscape plan. (See highlighted areas on attached landscape plan.)
- Add two ornamental deciduous trees to the rectangular planting area to the north east of the building and one ornamental deciduous tree to the triangle planting area to the south east of the building, "Thundercloud" Purpleleaf Plum or equal.

Staff also requested that a section of pavers in disrepair leading to the sidewalk to the east of the building be removed from the landscape area and that the applicant replant the area with grass.

The applicant has stated there is no objection to staff's request, however, noted that plantings may not occur until the spring.

### Equipment Screening, Site Lighting

All rooftop equipment will be screened by the EIFS panels surrounding the top of the building.

No changes are proposed for the parking lot lighting other than general maintenance and repair. D-Series Size 1 LED wall luminaires with a black finish are proposed on all four sides of the building. Dual Lite Indoor/Outdoor Emergency lights in black are proposed over the front and rear entrances.

*Staff believes that the screening and lighting proposed are consistent with the general recommendations of the Community Appearance Plan and zoning ordinance requirements.*

## **RECOMMENDATIONS**

The proposed plan is consistent with the City's design criteria. Staff therefore recommends that the application be approved with the following conditions.

1. The proposed construction, materials, and colors shall conform to the elevations and material samples provided by the Applicant, and as may be modified below or as may be modified to reflect any additional improvements that may be required by the Zoning Ordinance, Building Code and/or the Board of Architectural Review, and as may be modified by the Director of Community Development and Planning.
2. The applicant shall secure all required building and sign permits prior to installation of signs.
3. The applicant shall install hedgerows and three deciduous trees as identified in the staff report and on the marked up approved landscape plan per City standards.

**ATTACHMENT # 1**

## **Relevant Regulations**

### **Sec. 110-1071. Designation of districts.**

(a) The architectural control overlay district is hereby designated as all land in the city which is located outside an historic district and zoned for other than single-family detached residences. In addition, any lot, parcel or area of land within any area zoned for single-family detached residences outside an historic district which is used for other than single-family detached residences or which is the subject of an application for a special use permit or building permit involving any such other use shall be part of the architectural control overlay district. The provisions of this article shall not apply to single-family attached residences after such residences have been initially erected.

### **Sec. 110-1072. Approval required for improvements.**

(a) No structure or improvement located on any land within the architectural control overlay district, including significant landscape features appurtenant to such structure or improvement, shall be erected, reconstructed, altered or restored until the plans for the exterior architectural features and landscaping have been approved by the board of architectural review or the city council in accordance with the provisions of article XIX of this chapter. Plans for signs appurtenant to new and renovated shopping centers, and as otherwise provided for multi-tenant commercial buildings in subsection 110-180(b) shall also be subject to board of architectural review or the city council approval. The board of architectural review shall confine its review and approval to only those features which are subject to view from a public street, way or place. The provisions of this article shall not apply to regular maintenance of a structure, improvement or site; however, an exterior color change of a structure, or substantial portion thereof, shall be deemed an alteration and not regular maintenance.

### **Sec. 110-915. Powers and duties.**

The board of architectural review shall have the following powers and duties:

(2) To review and decide any application requesting approval for exterior architectural features of any structure, improvement or significant landscape feature associated with such structure or improvement to be erected, reconstructed or substantially altered in an architectural control district.

### **Sec. 110-259. - Parking area landscaping.**

(a) Surface parking areas.

(1) Perimeter landscaping requirements.

- a. Where parking area is adjacent to right-of-way. Each off-street parking area which is adjacent to a public right-of-way shall be separated from such right-of-way by a landscaped strip of not less than the width of the required building restriction area for the zoning district within which such parking area is located. Such strip shall contain an earthen berm, compact evergreen hedge or an equal or better alternative approved by the director. Landscaping shall be no less than 30 inches in height at the time of installation and mulched to a depth of at least four inches. In addition, such strip shall contain at least one deciduous tree not less than 3½ inches in caliper measured six inches above the ground level for every 500 square feet of required landscaped strip.



**Legend:**

- L-1 All trees to remain
- L-2 All existing ground cover (grass) to remain, TYP.
- L-3 Remove existing pavers & plant grass to match existing adjacent
- L-4 Maintain & provide new shrub plantings as required to provide 30" high screening from street.
- L-5 Provide new ornamental deciduous tree plantings. (3) Total 'Thundercloud' Purpleleaf Plum or equal.



A

Existing Landscaping to Remain



A

B

N

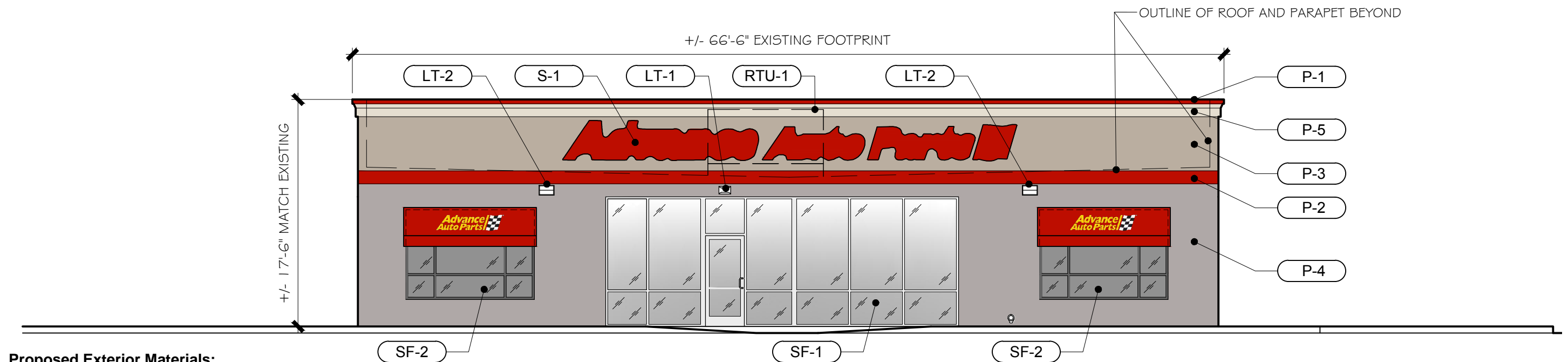
**Scope of Work:**

- We offer for your review proposed improvements to an existing building location 9738 Fairfax Blvd. Fairfax, VA on the behalf of Advanced Auto Parts. Please see SK-7 for existing exterior conditions.
- Proposed exterior improvements are minor in nature and consist of the following:
- Existing landscaping shall remain and be restored to enhance site.
  - Exterior improvements will not increase the footprint of the existing building; there will be no change in building's widths.
  - The facade will be reconfigured to have a new continuous parapet that aligns with the height of the uppermost existing parapet, while shrouding completely new roof top units as shown in rendered elevations. There will be no increase to the existing parapet height. Additionally, facades will be painted and have new wall mounted luminaires.
  - The south facade will have a new storefront entrance and new signage (under a separate signage permit).
  - Existing handicapped ramp to be upgraded and improved per Advanced Auto Parts Standards.
  - Repair/maintain existing site lighting fixtures.
  - All trash cans chained to light posts shall be removed.
  - Donation bin in parking lot to be removed.



B

Existing Landscaping to Remain

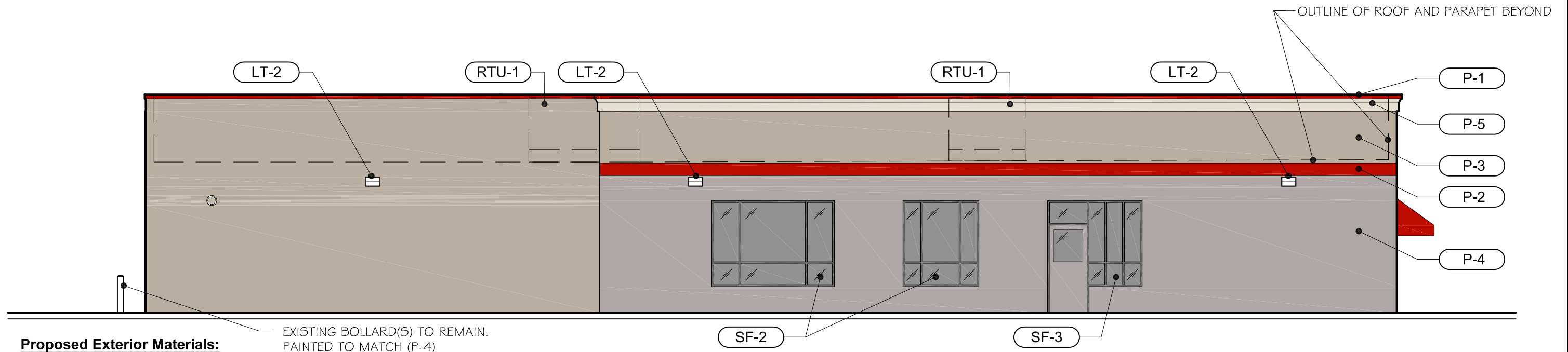


**Proposed Exterior Materials:**

- P-1 Metal Coping: Show Stopper - see SK-6
- P-2 Paint: Positive Red - see SK-6
- P-3 Paint: Anew Gray - see SK-6
- P-4 Paint: Quest Gray - see SK-6

- P-5 Paint: Pacer White - see SK-6
- LT-1 Emergency Luminaire - see SK-6
- LT-2 LED Wall Luminaire - see SK-6
- S-1 Reverse Channel Signage - Separate Permit

- SF-1 New Storefront Entrance / Glazing system clear glass  
Mill Finish aluminum
- SF-2 Existing Storefront to remain / Mill finish aluminum.  
Black, non-reflective film to be applied to inside face  
of glazing
- RTU-1 New Rooftop Unit (beyond)



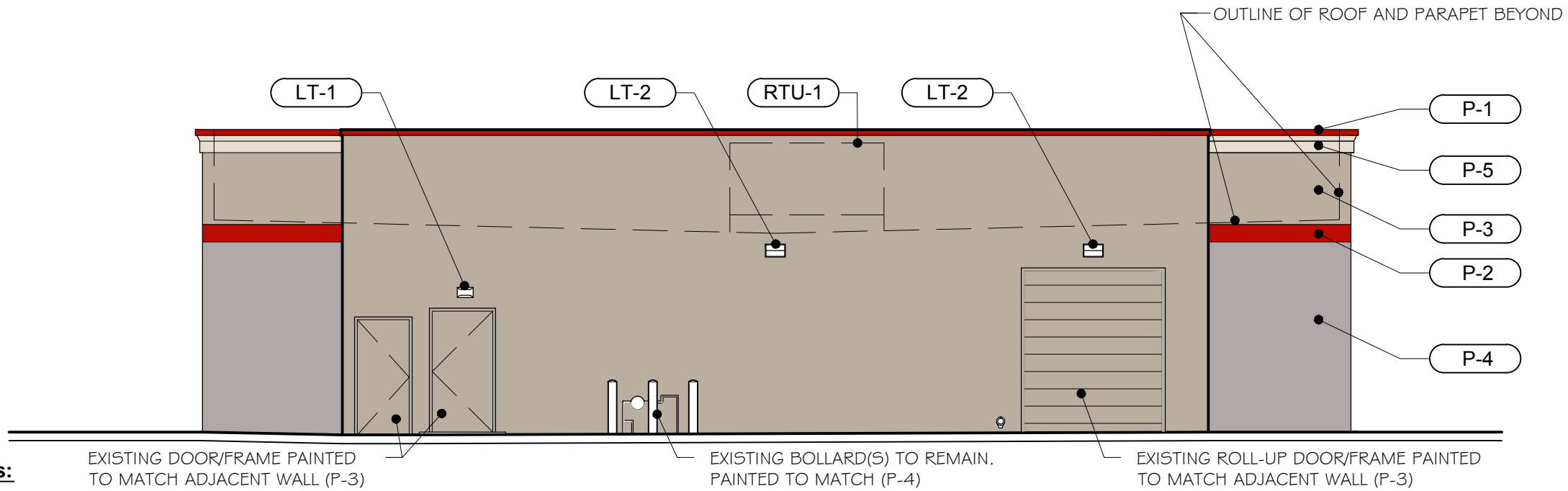
**Proposed Exterior Materials:**

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- P-3 Paint: Anew Gray - see SK-6
- P-4 Paint: Quest Gray - see SK-6

- P-5 Paint: Pacer White - see SK-6
- LT-2 LED Wall Luminaire - see SK-6
- SF-2 Existing Storefront to remain / Mill finish aluminum. Black, non-reflective film to be applied to inside face of glazing

- SF-3 Existing Storefront to remain. Paint frames to match existing adjacent. Seal door shut and remove hardware, paint to match P-4. Black, non-reflective film to be applied to inside face of glazing
- RTU-1 New Rooftop Unit (beyond)



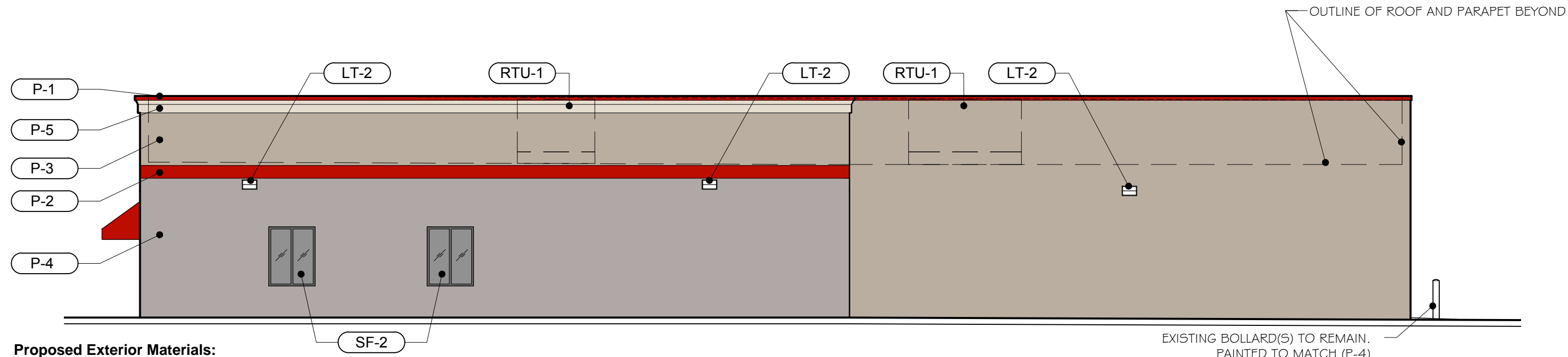


**Proposed Exterior Materials:**

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- P-4 Paint: Quest Gray - see SK-6

- P-5 Paint: Pacer White - see SK-6
- LT-1 Emergency Luminaire - see SK-6
- LT-2 LED Wall Luminaire - see SK-6
- RTU-1 New Rooftop Unit (beyond)

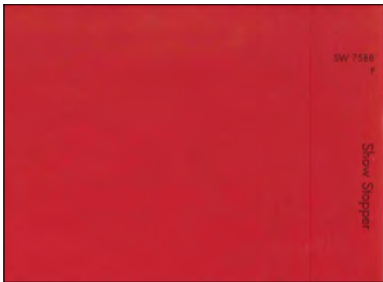




**Proposed Exterior Materials:**

- |   |   |  |
|---|---|--|
| <p>P-1 Metal Coping: Show Stopper - see SK-6</p> <p>P-2 Paint: Positive Red - see SK-6</p> <p>P-3 Paint: Anew Gray - see SK-6</p> <p>P-4 Paint: Quest Gray - see SK-6</p> | <p>P-5 Paint: Pacer White - see SK-6</p> <p>LT-2 LED Wall Luminaire - see SK-6</p> <p>SF-2 Existing Storefront to remain / Mill finish aluminum. Black, non-reflective film to be applied to inside face of glazing</p> | <p>RTU-1 New Rooftop Unit (beyond)</p> |
|---|---|--|

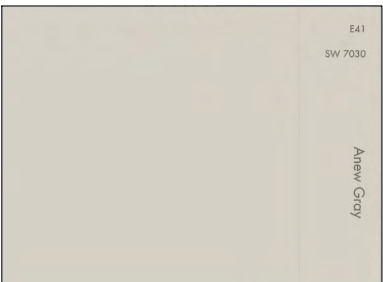
P-1



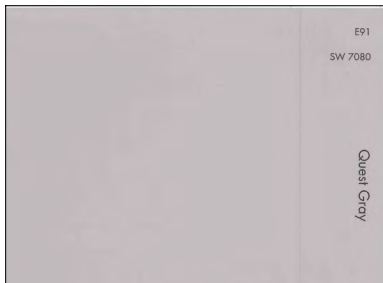
P-2



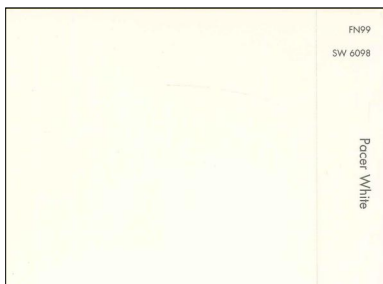
P-3



P-4



P-5



LT-1

DUAL LITE

### FEATURES

#### Application

The PG is an indoor/outdoor, die-cast architectural emergency unit. It is a wet location listed, emergency luminaire with high-output LED technology that provides path of egress illumination for mounting over entrance/exit ways and perimeter walkways. Spectron® self-testing/self-diagnostic electronics are included standard. A battery heater for cold temperature operation is available as an option.

#### Construction

Housing and mounting plate are constructed of 0.125" die-cast aluminum and 0.125" closed-cell, medium density, neoprene gasket. The acrylic lens allows 92% light transmission. The reflector is electro-polished aluminum with 95% reflectance. Housing finish is powder coated electro-deposition paint available in four colors: dark bronze, white, platinum silver and black.

#### Installation

Universal housing knockouts for mounting to standard 31/2" and 4" octagon and 4" square electrical boxes. A 1/2" – 1/4 NPT threaded conduit opening is provided at the top of the housing and sealed with a closure plug. The back plate mounts to the wall surface using installer supplied hardware. The housing "snaps" to the back plate by a "pin and socket" arrangement, and is secured with two Fillister head screws. AC Lockout feature prevents battery discharge prior to initial unit power-up saving installation time.

#### Lamps

Four high-output, long life LED lamps arranged in redundant pairs.

#### Compliances

UL 924 Listed (emergency models only)  
UL Wet Location Listed  
NFPA 101 Life Safety Code  
NFPA 70 National Electrical Code  
OSHA  
U.S. Patent No. D627916.

#### Warranty

Three-years full for unit, electronics and battery.

### ORDERING GUIDE

PG	W	-	HTR
Series	Finish		Options
	W White Z Dark Bronze P Platinum Silver B Black		HTR Battery Heater (Add Suffix to Model)

PG

### Indoor/Outdoor Emergency Lighting Unit

Catalog Number	
Comments	Type



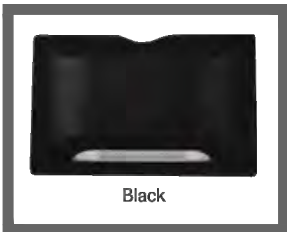
White



Dark Bronze



Platinum Silver



Black

Reference "Remote Heads and Fixtures" specification sheet for information on matching PG remote



PGR Remote LED



LT-2



### D-Series Size 1 LED Wall Luminaire



d'series

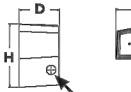
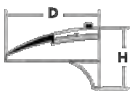
#### Specifications Luminaire

Width: 13-3/4" (34.9 cm)  
Depth: 10" (25.4 cm)  
Height: 6-3/8" (16.2 cm)

Weight: 12 lbs (5.4 kg)  
BBW Weight: 10 lbs (4.5 kg)  
ELCW Weight: 10 lbs (4.5 kg)

#### Back Box (BBW, ELCW)

Width: 13-3/4" (34.9 cm)  
Depth: 4" (10.2 cm)  
Height: 6-3/8" (16.2 cm)



For 3/4" NPT side-entry conduit (BBW only)

### Ordering Information

EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTXD

DSXW1 LED									
Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options	Other Options	Finish (required)
DSXW1 LED	10C 10 LEDs (one engine) 20C 20 LEDs (two engines)	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA (1 A)	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted	T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium ASYDF Asym-metric diffuse	MVOLT <sup>1</sup> 120 <sup>1</sup> 208 <sup>1</sup> 240 <sup>1</sup> 277 <sup>1</sup> 347 <sup>2</sup> 480 <sup>2</sup>	Shipped included (blank) Surface mounting bracket BBW Surface-mounted back box (for conduit entry) <sup>3</sup>	Shipped installed PE Photoelectric cell, button type <sup>4</sup> DMG 0-10V dimming driver (no controls) PIR 180° motion/ambient light sensor, <15' mtg ht <sup>5</sup> PIRH 180° motion/ambient light sensor, 15-30' mtg ht <sup>5</sup> ELCW Emergency battery backup (includes external component enclosure) <sup>6</sup>	Shipped installed SF Single fuse (120, 277 or 347V) <sup>7</sup> DF Double fuse (208, 240 or 480V) <sup>7</sup> HS House-side shield <sup>8</sup> SPD Separate surge protection <sup>9</sup> Shipped separately BSW Bird-deterrent spikes WG Wire guard VG Vandal guard DDL Diffused drop lens	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DSSXD Sandstone DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone

#### NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options), or photocontrol (PE option).
- Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRH.
- Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- PIR specifies the Sensor Switch SBGR-10-ODP control; PIRH specifies the Sensor Switch SBGR-6-ODP control; see Motion Sensor Guide for details. Includes ambient light sensor. Not available with "PE" option (button type photocell). Dimming driver standard. Not available with 20 LED/1000 mA configuration (DSXW1 LED 20C 1000).
- Cold weather (-20C) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode IES files located on product page at [www.lithonia.com](http://www.lithonia.com)
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option. Not available with ELCW.
- Also available as a separate accessory; see Accessories information.
- See the electrical section on page 3 for more details.

#### Accessories

Ordered and shipped separately

DSXWIS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXWVG U	Wire guard accessory
DSXWVG U	Vandal guard accessory



One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.279.8041 • Fax: 770.918.1209 • [www.lithonia.com](http://www.lithonia.com)  
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**SOUTH ELEVATION- FAIRFAX BLVD.**



**WEST ELEVATION- DRAPER DR.**



**EAST ELEVATION**



**NORTH ELEVATION**



DEMOLITION SITE PLAN KEY NOTES:

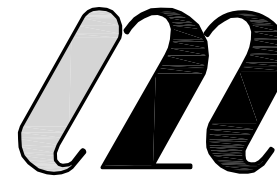
- 1. PORTION OF EXISTING SIDEWALK AND CURB TO BE DEMOLISHED AND REMOVED. COORDINATE EXTENTS WITH NEW WORK PLANS.
- 2. EXISTING HAND RAIL TO BE DEMOLISHED AND REMOVED.
- 3. EXISTING GROUND LIGHTS TO BE DEMOLISHED AND REMOVED.
- 4. PORTION OF EXISTING ROOF AND COLUMNS TO BE DEMOLISHED IN THEIR ENTIRETY. SEE DEMOLITION PLAN.

NEW WORK SITE PLAN KEY NOTES:

- 5. NEW PORTION OF CONCRETE SIDEWALK. SLOPE CONCRETE WALK AWAY FROM BUILDING 1/8" PER FT. FOR POSITIVE DRAINAGE AND PROVIDE BROOM FINISH. SEE STRUCTURAL PLANS.
- 6. NEW SLOPED PORTIONS OF SIDEWALK AND PORTION OF FLUSH SIDEWALK WITH ASPHALT. COORDINATE WITH RE-STRIPING IN FIELD.
- 7. EXISTING PARKING LOT TO BE PATCHED, REPAIRED, AND RE-STRIPED BY OTHERS.

A1 DEMOLITION SITE PLAN  
SCALE: 1/8" = 1'-0"

K1 NEW WORK SITE PLAN  
SCALE: 1/8" = 1'-0"



L2M  
811 Cromwell Park Drive, Suite 113  
Cromwell Business Park at BWI  
Glen Burnie, Maryland 21061  
L2M@L2M.com  
Phone 410.863.1302  
Fax 410.863.1308

ARCHITECT OF RECORD:  
**Jeffrey D Mahler**  
**architect**  
940 Burnett Ave.  
Annapolis, MD 21402  
410-863-1302  
Jeffrey D Mahler, RA, AIA  
Practicing as an Individual

Virginia License # 009213

**Advance Auto Parts**  
STORE # 109026  
9738 FAIRFAX BLVD.  
FAIRFAX, VA

REVISIONS		DESCRIPTION	
REV	DATE	DESCRIPTION	DATE

DATE	06/22 /15	GROSS SQ. FT.	6,008 SF
PROJECT #	15.177		
DRAWN BY:	ALE		
CHECK BY:	CH		

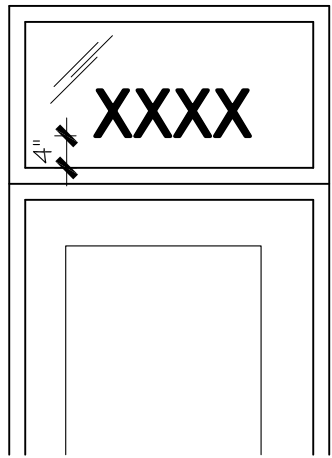
ALL REPORTS, PLANS, SPECIFICATIONS, FIELD DATA, NOTES AND OTHER DOCUMENTS INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA, PREPARED BY THE DESIGN PROFESSIONAL, AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL. DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR CONSENT OF THE DESIGN PROFESSIONAL. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE, ARE HEREBY SPECIFICALLY RESERVED.

ARCHITECTURAL  
SITE PLAN

A1.1

GENERAL NOTES:

- ALL EXTERIOR SIGNS ARE PROVIDED AND INSTALLED BY ADVANCE AUTO PARTS. ALL ELECTRICAL CONNECTIONS ARE BY ELECTRICAL CONTRACTOR. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ALL CONCRETE MASONRY UNITS SHALL BE NORMAL WEIGHT CONCRETE, 7- $\frac{3}{8}$ " X 7- $\frac{3}{8}$ " X 15- $\frac{3}{8}$ ", WITH  $\frac{3}{8}$ " MORTAR JOINTS, WITH TOTAL COURSE HEIGHT TO EQUAL 8", IN RUNNING BOND PATTERN.
- PROVIDE TOOLED CONCAVE MORTAR JOINTS UNLESS NOTED OTHERWISE.
- ALL CONTROL, BUILDING AND EXPANSION JOINTS TO BE INSTALLED PER ASTM, CONCRETE AND/OR BRICK INDUSTRY STANDARDS AS APPLICABLE.
- PROVIDE SEALANT AT ALL UNLIKE MATERIALS.



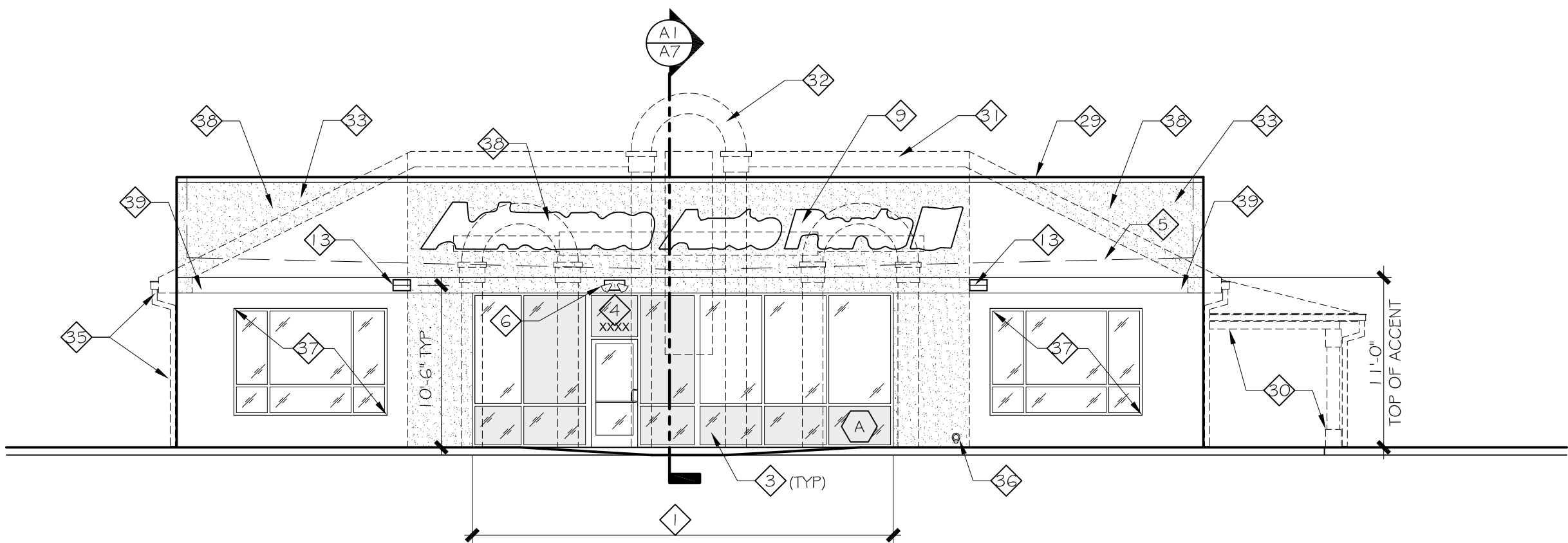
RTA VINYL  
-ORACAL 651 WHITE, 2.5 MIL VINYL  
-COLORS ARE WHITE ON BLACK  
-FONT SIZE IS 5.75"  
-300" BLACK OUTLINE  
-.02" BLEED  
-COMPRESSION, NONE  
-FONT IS STANDARD BOLD CONDENSED  
-CENTERED ABOVE DOOR FRAME

F9 ADDRESS DETAIL  
SCALE: 1/2" = 1'-0"

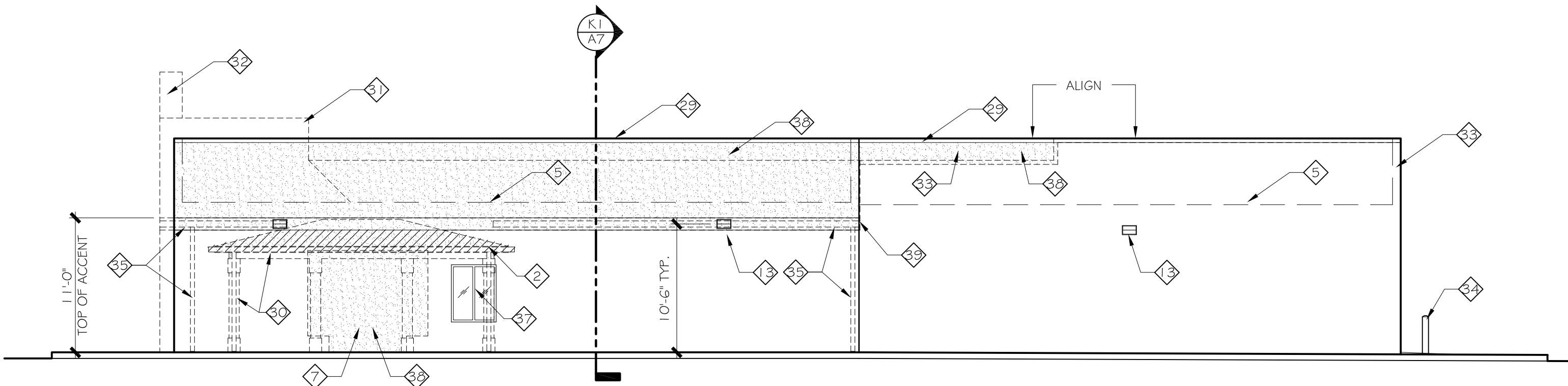
EXTERIOR ELEVATION KEY NOTES:

- PROVIDE OLDCASTLE GLASS VISTAWALL SERIES FG 3000 2" x 4 1/2" MULLION PROFILE, CENTER SET, EXTERIOR LOADED FLUSH GLAZE STOREFRONT SYSTEM WITH 1" CLEAR LOW E<sup>+</sup> INSULATED GLASS. STOREFRONT SYSTEM COLOR TO MATCH BUILDING STANDARDS. REFER TO RESPONSIBILITY MATRIX FOR ADDITIONAL INFORMATION. NO SUBSTITUTIONS. SEALANT COLOR TO MATCH EXISTING.
- PATCH AND REPAIR EXISTING WALL WITH STUCCO FINISH TO MATCH EXISTING. PAINT PER AAP STANDARDS.
- HATCH AREA REPRESENTS AREA OF TEMPERED GLAZING.
- G.C. TO PROVIDE & INSTALL 5 3/4" VINYL WHITE ON BLACK ADDRESS NUMBERS BY MFR: "EAST SIGNS" ON FRONT WINDOWS CENTERED OVER DOOR, BOTTOM EDGE OF NUMBER SHALL SET 4" ABOVE FRAME - REFER TO DETAIL 5/A6 FOR ADDITIONAL INFORMATION.
- LINE OF ROOF BEYOND.
- EMERGENCY LIGHT, REFER TO ELECTRICAL SHEETS FOR ADDITIONAL INFORMATION.
- EXISTING STOREFRONT TO BE REMOVED AND INFILLED. SEE PLANS AND DETAILS
- NOT USED.
- REFER TO ELECTRICAL DRAWINGS FOR SIGNAGE REQUIREMENTS. SIGNAGE IS PERMITTED SEPARATELY AND INSTALLED BY OTHERS. SIGNAGE IS SHOW FOR REFERENCE ONLY.
- NOT USED.
- NOT USED.
- NOT USED.
- WALL MOUNTED LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- RAIN DEFLECTOR ATTACHED TO MASONRY- REFER TO DOOR HARDWARE SCHEDULE.
- ROLL UP STEEL DOOR - REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- NOT USED.
- HOLLOW METAL DOOR AND FRAME PAINT TO MATCH COLOR OF ADJACENT WALL SURFACE.
- NOT USED.
- NOT USED.
- NOT USED.
- NOT USED.

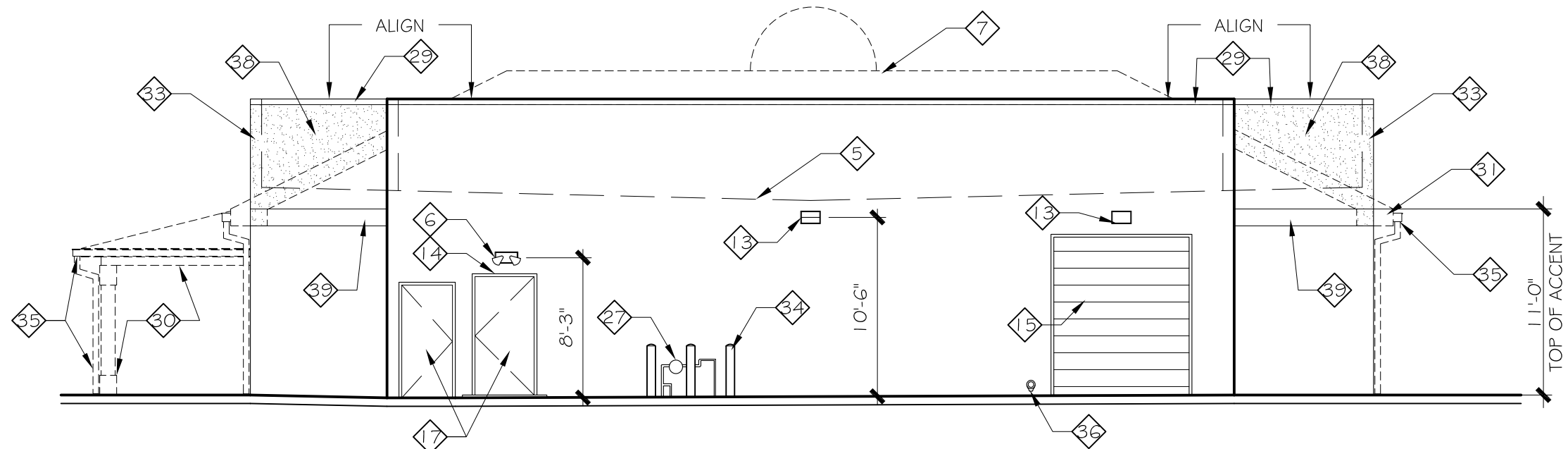
- NOT USED.
- NOT USED.
- NOT USED.
- NOT USED.
- UNIT HEATER THRU WALL EXHAUST VENT CAP - PAINT TO MATCH ADJACENT WALL. REFER TO MECHANICAL SHEETS FOR ADDITIONAL INFORMATION.
- GAS METER - PAINT TO MATCH ADJACENT WALL. REFER TO MECHANICAL SHEETS FOR ADDITIONAL INFORMATION.
- NOT USED.
- NEW RAPID-LOK METAL COPING AS MANUFACTURED BY ATAS INTERNATIONAL, INC. INSTALLED PER MANUFACTURER'S SPECIFICATIONS. COPING TO BE FACTORY FINISHED 'BRITE RED (17).'
- DEMOLISH EXISTING CANOPY AND ROOF IN ITS ENTIRETY.
- PORTIONS OF EXISTING ROOF TO BE DEMOLISHED. COORDINATE WITH SECTIONS ON SHEET A7 AND STRUCTURAL PLANS.
- DECORATIVE BUILT-OUT ELEMENTS TO BE DEMOLISHED AND REMOVED.
- NEW PARAPET EXTENSION. SEE WALL SECTIONS ON SHEET A7 AND STRUCTURAL PLANS.
- EXISTING PROTECTIVE BOLLARDS TO REMAIN.
- DEMOLISH EXISTING COPING, GUTTERS AND DOWNSPOUTS
- OVERFLOW ROOF DRAIN SPOUT. SEE PLUMBING PLAN.
- PROVIDE AND INSTALL WINDOW TINT ON INSIDE FACE OF GLASS. GC TO VERIFY STOREFRONT TYPE IN FIELD PRIOR TO PURCHASE.  
LLUMAR SINGLE PANE: DL 05 GR SR CDF: GRAY  
DOUBLE PANE: DR 15 SR CDF: GRAY
- NEW EIFS TO ALIGN WITH EXISTING STUCCO FINISH. PAINT PER AAP STANDARDS. EIFS SHALL BE OUTSULATION MD AS MANUFACTURED BY DRYVIT AND SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
- 1" RED BAND PAINTED PER AAP STANDARDS.



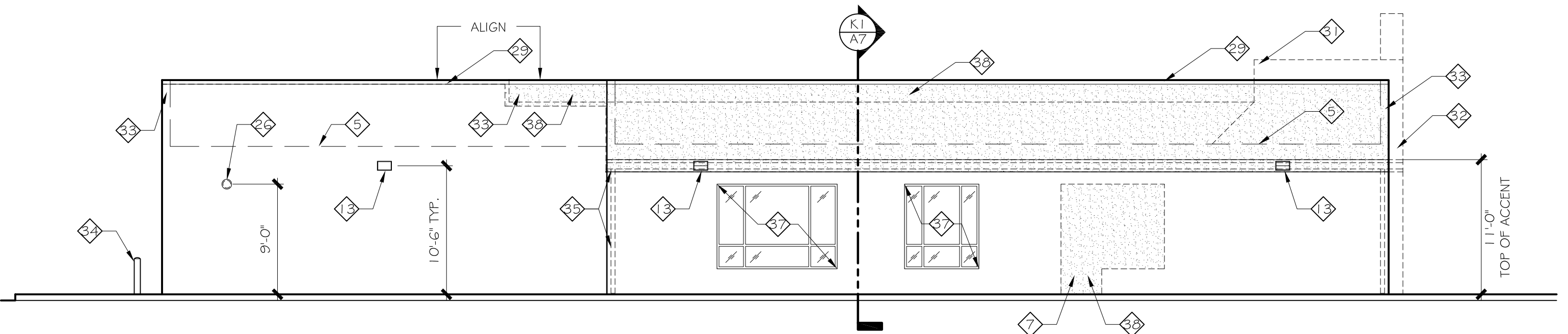
A5 FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



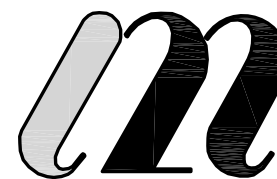
H5 SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



A1 REAR ELEVATION  
SCALE: 1/8" = 1'-0"



H1 SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



L2M  
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Cromwell Business Park at BVI  
Glen Burnie, Maryland 21061  
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ARCHITECT OF RECORD:

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Virginia License # 009213

Advance Auto Parts  
STORE # 109026  
9738 FAIRFAX BLVD.  
FAIRFAX, VA

REVISIONS		DESCRIPTION
REV	DATE	

DATE	06/22/15	GROSS SQ. FT.	6,008 SF
PROJECT #	15.177		
DRAWN BY:	ALE		
CHECK BY:	CH		

ALL REPORTS, PLANS, SPECIFICATIONS, FIELD DATA, NOTES AND OTHER DOCUMENTS INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA, PREPARED BY THE DESIGN PROFESSIONAL, AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL. DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR CONSENT OF THE DESIGN PROFESSIONAL. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE, ARE HEREBY SPECIFICALLY RESERVED.

EXTERIOR  
ELEVATIONS

A6



LUMINAIRE SCHEDULE									
(ALL LUMINAIRES MAY NOT NECESSARILY BE USED ON PROJECT.)									
TYPE	QTY.	MANUFACTURER	MODEL NUMBER	LAMPS PER FIXTURE			COLOR	MOUNTING	REMARKS
				NO.	OSRAM/SYLAVANIA TYPE	WATTS VOLTAGE			
(A)	50	US LED	DGI-2-1-35-1-2-FUE-UNV1-4100-2	350	LED	100 120/271	WHITE	10'-0" AFF.	NOTES 12,3,10
(AI)	0	US LED	DHI-2-1-35-1-2-FW-UNV2-1050-2	175	LED	45 120/271	WHITE	TO BOTTOM OF BAR JOIST	NOTES 12,3,10
(EL)	3	LITHONIA	ELM654	2	(2) 9 WATT KRYPTON INCLUDED	30 6V	WHITE	BOTTOM OF JOIST	CONNECT DC WIRING TO EU FIXTURE, NOTE 6
(EU)	5	LITHONIA	ELA-T-H0806	2	(2) 8 WATT HALOGEN INCLUDED	16 6V	WHITE	BOTTOM OF JOIST	CONNECT REMOTE FIXTURES TO EL FIXTURE, NOTE 6
(R)	3	US LED	GTR2-11-35-0-FUB-UNV2-1050	144	LED	275 120/271	WHITE	8'-0" AFF. # RESTROOM // 12'-0" # VESTIBULE	NOTES 12,3
(WW)	3	LITHONIA	DSXII LED 10C 350 50K T3M MVOLT D50XII	10	LED	1321 120	SANDSTONE	REFER TO ARCH. ELEV. FOR MNT'G HT'S	NOTES 15 FIXTURE NOT TO BE PAINTED
(WW)	1	LITHONIA	DSXII LED 20C 700 50K T3M MVOLT D50XII	20	LED	47 120	SANDSTONE	REFER TO ARCH. ELEV. FOR MNT'G HT'S	NOTES 15 FIXTURE NOT TO BE PAINTED
(XL)	3	LITHONIA	LHQ1-8-W-3-R-HO	-	LED - INCLUDED	3 120/271	WHITE W/ RED LETTERS	REFER TO ARCH. ELEV. FOR MNT'G HT'S	NOTES 12,1
(XU)	2	LITHONIA	ELA-T-6C5-WP	-	54W LAMPS INCLUDED	12 120/271		REFER TO ARCH. ELEV. FOR MNT'G HT'S	CONNECT REMOTE FIXTURES TO "XL", NOTE 1
(ET)	0	LITHONIA	ELM1	2	(2) 5.4 WATT KRYPTON INCLUDED	20 6V	WHITE	REFER TO ARCH. ELEV. FOR MNT'G HT'S	NOTES 12,8

LUMINAIRE SCHEDULE										
(ALL LUMINAIRES MAY NOT NECESSARILY BE USED ON PROJECT)										
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(WW)	3	LITHONIA	DSXII LED 10C 350 50K T3M MVOLT D50XD	10	LED	1321	120	SANDSTONE	REFER TO ARCH. ELEV. FOR MNT'G HT'S	NOTES 15 FIXTURE NOT TO BE PAINTED
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LIGHT FIXTURE SCHEDULE NOTES:

1. ELEC. SHALL FURNISH AND INSTALL ALL LUMINARIES AND LAMPS AS SPECIFIED. LUMINARIES AND LAMPS SHALL BE ORDERED THROUGH ADVANCE AUTO PARTS NATIONAL ACCOUNT. REFER TO RESPONSIBILITY MATRIX SHEET T1 FOR ORDERING INFORMATION.
2. ELEC. SHALL BE RESPONSIBLE TO SUPPORT LIGHT FIXTURES WITH UNISTRUT THAT IS INSTALLED TO ALLOW FOR ADJUSTMENT OF LIGHT FIXTURES AFTER FIXTURES ARE INSTALLED. LIGHT FIXTURES SHALL BE INSTALLED AS DIRECTED.
3. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION OF ALL LUMINARIES.
4. IN "STAGING" DIRECT MOUNT FIXTURE BELOW STRUCTURE, KEEP AS HIGH AS POSSIBLE.
5. J-BOXES SHALL BE MOUNTED ON INTERIOR OF CHU ABOVE CEILING, CONDUIT SHALL BE CONCEALED IN CHU TO FIXTURE ON EXTERIOR.
6. MAXIMUM OF TWO (2) TYPE "EU" (4 INDIVIDUAL REMOTE HEADS) MAY BE CONNECTED TO A SINGLE TYPE "EL" UNIT.
7. MAXIMUM OF TWO (2) TYPE "XU" (4 INDIVIDUAL REMOTE HEADS) MAY BE CONNECTED TO A SINGLE TYPE "XL" UNIT.
8. FOR USE WHEN RESTROOM EMERGENCY LIGHTS ARE REQUIRED BY LOCAL CODE.
9. NOT USED.
10. PROVIDE 5' WHIPS ON FIXTURES "A" LIGHT FIXTURES TO ALLOW ELECTRICIAN TO ADJUST FINAL LOCATION AFTER STORE FIXTURES ARE SET. (SEE LIGHT FIXTURE SCHEDULE NOTE 2 ABOVE)

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# LIGHTING PLAN KEYED NOTES

1. ELEC. SHALL FURNISH AND INSTALL ONE (1) 20-AMP CIRCUIT TO JUNCTION BOX FOR BUILDING SIGN. J-BOX SHALL BE LOCATED DIRECTLY BEHIND "A" IN Auto. CLEARLY MARK J-BOX FOR "SIGN COMPANY". SIGN COMPANY TO MAKE ALL FINAL CONNECTIONS TO SIGNS. SEE ARCHITECTURAL ELEVATIONS FOR EXACT LOCATION OF ALL SIGNS. SIGNS SHALL BE FURNISHED WITH DISCONNECT SWITCH. ELECTRICAL CONTRACTOR SHALL ROUTE CIRCUIT TO PANEL, FINAL CONNECTION TO EMS PREFAB PANEL AND REMOTE OVERRIDE PUSH-BUTTONS BY AAP VENDOR (TELEPHONE).
2. DUPLEX RECEPTACLE FOR GREETER/SECURITY MONITOR. COORDINATE FINAL LOCATION. REFER TO SHEET E1 FOR CIRCUITING AND MOUNTING INFORMATION.
3. POWER PLUS INTEGRATED SWITCHGEAR AND INTERNAL EMS SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR. LIGHTING CIRCUITS SHALL BE ROUTED TO PANELS BY E.C. RECONNECTION AND FINAL CONTROLS THROUGH EMS SYSTEM BY AAP VENDOR (TELEPHONE). ELECTRICAL CONTRACTOR SHALL PROVIDE LIGHTING HOMERUNS.
4. SWITCHBANK FOR CONTROL OF LIGHT FIXTURES LOCATED IN DAYLIGHT ZONES. LIGHT SWITCH TO MANUALLY OVERRIDE EMS "ON" FUNCTION FOR LIGHTS SHOWN.
5. ROUTE CIRCUIT VIA DAYLIGHT CONTROL SWITCHBANK. SEE NOTE 4.

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




**NOTE**  
SEE ARCHITECTURAL REFLECTED CEILING PLAN  
FOR LIGHTING LOCATION DIMENSIONS

LIGHTING GENERAL NOTES:

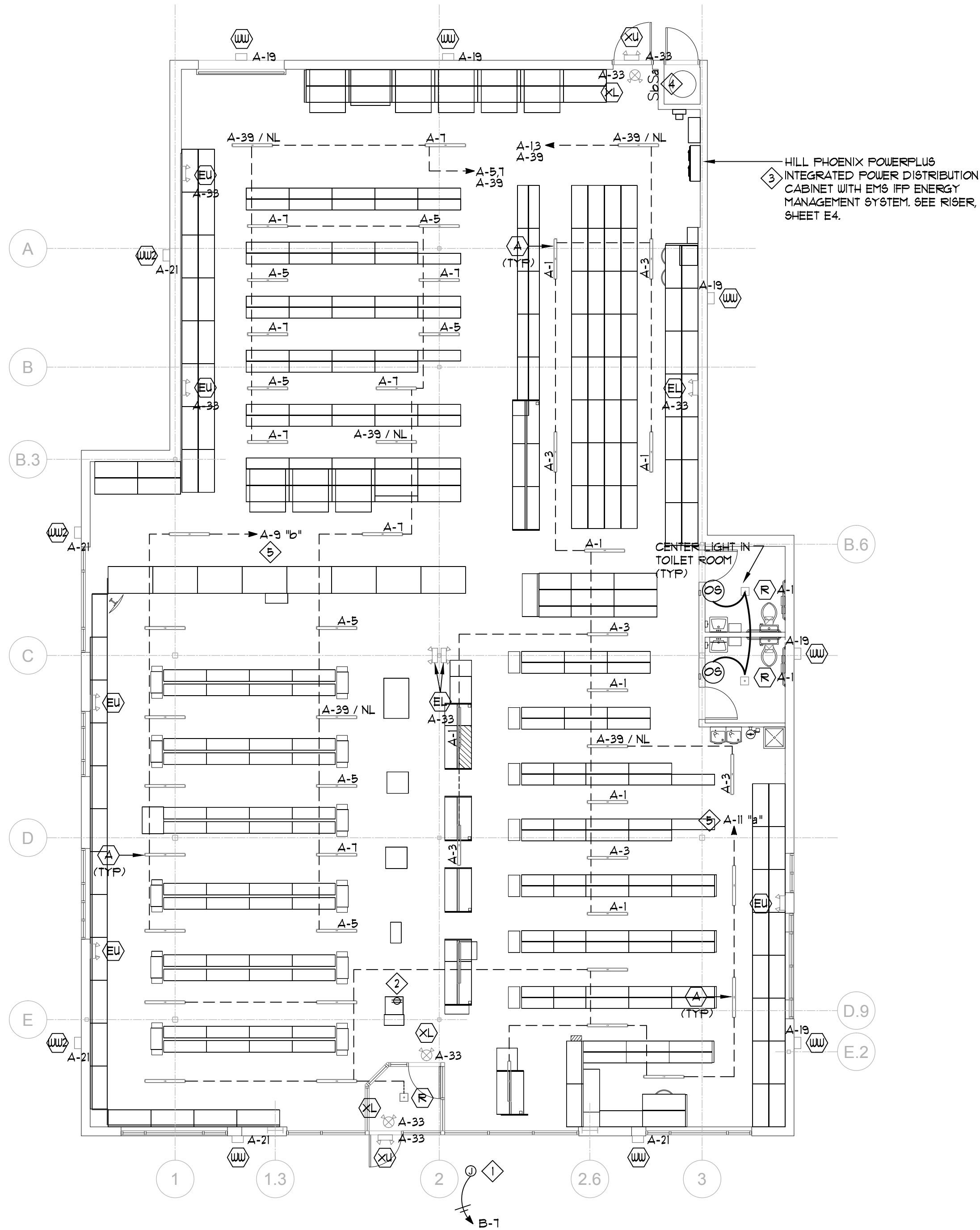
1. PROVIDE NEW SWITCHES AND SWITCH COVERS, COLOR SHALL BE WHITE
2. EMERGENCY BATTERY UNITS AND EXIT SIGNS SHALL BE CONNECTED TO THE NORMAL LIGHTING CIRCUIT AHEAD OF ANY SWITCH.
3. ELECTRICAL CONTRACTOR SHALL PLACE OIL/BATTERY LIGHTING AFTER RACK IS SET.
4. ELECTRICAL CONTRACTOR SHALL ADD 5'-0" WHIPS ON ALL MERCHANDISE AREA LIGHT FIXTURES.
5. LIGHTING SHALL BE MOUNTED AT MIN. 14"-0" AFF
6. ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL CONDUCITS & CIRCUITING OF LIGHTING BACK TO PANELS. FINAL HOOK UP TO EMS LIGHTING CONTROLS BY TELETECH VENDOR.
7. LIGHTING SHALL BE INSTALLED DOWN CENTER OF AISLES.

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ELECTRICAL SYMBOL LEGEND	
(ALL SYMBOLS MAY NOT NECESSARILY BE USED ON PROJECT)	
SYMBOL:	DESCRIPTION:
	4inX 48in. LINEAR LED LUMINAIRE
	1X1 SOFFIT LUMINAIRE
	EXIT SIGN WITH BATTERY BACK UP
	INTERIOR EMERGENCY LUMINAIRE
	EXTERIOR DECORATIVE WALL LIGHT
	EXTERIOR WALL PACK
	OCCUPANCY SENSOR WITH DUAL TECHNOLOGY (ULTRASONIC AND INFRARED) AND OFF SWITCH. WALL MOUNT AT 48" AFF. RESTROOMS: HUBBELL *AT121TUI
	LIGHTING LUMINAIRE SYMBOL TYPE. REFER TO LUMINAIRE SCHEDULE
A-XX	INDICATES PANEL DESCRIPTION + CIRCUIT NUMBERS
	20 AMP, 125 VOLT DUPLEX RECEPTACLE FLUSH MOUNTED IN SUSPENDED CEILING TILE, UNO, WHITE COLOR

ELECTRICAL SYMBOL LEGEND	
(ALL SYMBOLS MAY NOT NECESSARILY BE USED ON PROJECT)	
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	4in x 48in. LINEAR LED LUMINAIRE
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1 ELECTRICAL LIGHTING PLAN  
E3 SCALE: 1/8"=1'-0"

























KENNETH E. & ALFRED A. REICHMAN  
ZONED: I-2  
USE: INDUSTRIAL

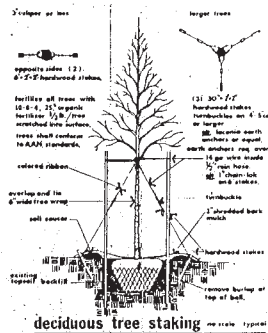
S 80° 02' 00" E = 320.00'

ROSS W. & NORMA L. KEITH PROPERTY

SHIRLEY J. BRICKMAN  
ZONED: C-2  
USE: MOTEL

S 09° 58' 00" W = 449.84'

PLANT LIST		
SYM.	BOTANICAL NAME	COMMON NAME
BTA	Berberis thunbergii	CRIMSON FLIGHT JAPANESE BARBERRY
ICH	Ilex crenata	JAPANESE HOLLY 30" height or less
JBH	Juniperus horizontalis	BARHARBOR JUNIPER
PCT	Prunus cerasifera	"THUNDERCLOUD" PURPLE-LEAF PLUM
TCC	Taxus canadensis	CANADIAN YEW
TCC	Thuja occidentalis	AMERICAN ARBORVITAE
V.C.	Viburnum carlesii	FRAGRANT VIBURNUM 10' to 15' tall
A.S.	Acer saccharum	SUGAR MAPLE 30" to 40" caliper



### NOTES

Landscape contractor must provide owner with written instructions to maintain the landscape plantings.

Owner must maintain plantings following initial installation and watering.

Plant materials to be warranted to live for one year following installation providing the written maintenance instructions are followed.

There will be a labor charge only to install any replacement plants.

All ground cover areas to receive 4 bales of peat moss/1,000 sq. ft. installed into top 6\"/>

All existing plant material to remain shall be pruned, cleared up, mulched and fertilized with 10-6-4, 35% organic fertilizer according to American Association of Nurseries Standards.

### PLANTING DETAIL

NO SCALE

LIMITS OF SITE PLAN

ADD 2 TREES

ADD HEDGES

ADD 1 TREE

ADD HEDGES

FILL IN HEDGES

### LANDSCAPE PLAN

SCALE: 1" = 20'-0"

NO.	DESCRIPTION	DATE	BY
1	ADDITIONAL LANDSCAPE OF REAR DRIVE AREA	10/19/00	SHJ
2	REVISIONS		
NO.	DESCRIPTION	DATE	BY
1	PLANTING CLARIFICATION	11/14/00	SHJ

ALL MEASUREMENTS MUST BE CHECKED ON THE JOB BY THE CONTRACTOR. ALL PRINTS AND SPECIFICATIONS ARE THE PROPERTY OF THE OWNER AND MUST BE RETURNED UPON COMPLETION OF THE WORK.

PROJECT: SIZZLER RESTAURANT REMODEL  
ROUTE 211 & DRAPER DRIVE (7195)  
FAIRFAX, VA 22031

CONTRACTOR AND SUBCONTRACTOR TO CHECK AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN FIELD BEFORE WORK IS STARTED.

ASSOC. ARCHITECTS

ENGINEERS

MANAGERS

DRAWING TITLE: LANDSCAPE PLAN

DRAWN BY: DOERFLER/EG

SCALE: 1" = 20'

DATE: OCT. 19, 1999

DRAWING NUMBER: L-1

ATTACHMENT #4